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NOTES:

249 EAST 62ND STREET

DOB SUBMITTAL  
NOVEMBER 1, 2017

ARCHITECT:  
RAFAEL VIÑOLY ARCHITECTS

OWNER:  
REAL ESTATE INVERLAD DEVELOPMENT LLC  
  
101 S Eola DR # 1205  
Orlando, FL 32801  
T: 407 650 0282

STRUCTURAL ENGINEER:  
THORNTON TOMASETTI  
  
744 Broad Street  
Newark, NJ 07102  
T: 973 286 6100

MEP/FP ENGINEER:  
COSENTINI ASSOCIATES  
  
2 Pennsylvania Plaza  
New York, NY 10121  
T: 212 615 3600

VERTICAL TRANSPORTATION:  
FORTUNE SHEPLER SALING, INC.  
  
37 Woodland Road  
Maplewood, NJ 07040  
T: 862 400 6382

TECHNICAL SPECIFICATION WRITING:  
ROBERT SCHWARTZ ASSOCIATES  
  
589 8th Avenue, 17th Floor  
New York, NY 10018  
T: 212 691 3248

FACADE MAINTENANCE:  
ENTEK ENGINEERING, LLC.  
  
166 Ames Street  
Hackensack, NJ 07601  
T: 201 620 2801

ENCLOSURE / WATERPROOFING:  
ENTUITIVE CORPORATION  
  
315 West 36th Street  
New York, NY 10018  
T: 718 280 5935

LIGHTING DESIGNER:  
ONE LUX STUDIO  
  
158 West 29th Street, 10th Floor  
New York, NY 10001  
T: 212 201 6792

ACOUSTICS / VIBRATION:  
CERAMI ASSOCIATES  
  
404 Fifth Avenue, 8th Floor  
New York, NY 10018  
T: 212 370 1776

GEOTECHNICAL / CIVIL:  
LANGAN ENGINEERING  
  
300 Kimball Drive, 4th Floor  
Parsippany, NJ 07054  
T: 973 560 4900

AV / IT / SE ENGINEER:  
COSENTINI ASSOCIATES  
  
2 Pennsylvania Plaza  
New York, NY 10121  
T: 212 615 3600

WIND TUNNEL ENGINEER:  
BOUNDARY LAYER WIND TUNNEL LABORATORY  
  
Western University, 1151 Richmond St  
London, Ontario, Canada N6A 5B9  
T: 519 661 5355

LANDSCAPE ARCHITECT:  
STEVEN YAVANIAN LANDSCAPE  
ARCHITECTURE PLLC  
  
10 City Point, 23T  
Brooklyn, NY 11201  
T: 646 767 0706

TOTAL NUMBER OF BICYCLE PARKING SPACES PROVIDED IN PROJECT: 38

ZONING LOT CERTIFICATIONS:  
EXHIBIT I - 2017042800473001001E979A  
EXHIBIT III - 2017041900204001001EDC1C

DOB BSCAN

DOB STAMP

PROJECT  
249 E 62ND STREET  
NEW YORK, NY 10065

OWNER:  
REAL ESTATE INVERLAD DEVELOPMENT  
101 S EOLA DR # 1205  
ORLANDO, FL 32801

ARCHITECT / INTERIOR DESIGNER:  
RAFAEL VIÑOLY ARCHITECTS  
50 VANDAM STREET  
NEW YORK, NY 10013

MEP / FP / IT / SE ENGINEER:  
COSENTINI ASSOCIATES  
2 PENNSYLVANIA PLAZA  
NEW YORK, NY 10121

STRUCTURAL ENGINEER:  
THORNTON TOMASETTI  
744 BROAD STREET  
NEWARK, NJ 07102

GEOTECHNICAL / CIVIL ENGINEER:  
LANGAN ENGINEERING  
300 KIMBALL DRIVE, 4TH FLOOR  
PARSIPPANY, NJ 07054

VERTICAL TRANSPORTATION:  
FORTUNE SHEPLER SALING  
37 WOODLAND ROAD  
MAPLEWOOD, NJ 07040

ACOUSTICAL CONSULTANT:  
CERAMI ASSOCIATES  
404 FIFTH AVENUE, 8TH FLOOR  
NEW YORK, NY 10018

LIGHTING DESIGNER:  
ONE LUX STUDIO  
158 WEST 29TH STREET, 10TH FLOOR  
NEW YORK, NY 10001

FACADE MAINTENANCE CONSULTANT:  
ENTEK ENGINEERING  
166 AMES STREET  
HACKENSACK, NY 10121

ENCLOSURE / WATERPROOFING CONSULT:  
ENTUITIVE CORPORATION  
315 WEST 36TH STREET  
NEW YORK, NY 10018

LANDSCAPE ARCHITECT:  
STEVEN YAVANIAN LANDSCAPE  
ARCHITECTURE PLLC  
10 CITY POINT, 23T, BROOKLYN, NY 11201

KEY PLAN

PROJ.N

SEAL AND SIGNATURE

ISSUE NAME  
DOB SUBMITTAL

REV	DATE	DESCRIPTION
	11/01/2017	DOB SUBMITTAL
	09/28/2017	CONSTRUCTION DOCUMENTS

ISSUE DATE  
11/01/2017

DRAWING SIZE:  
36" x 48"

SCALE  
N.T.S.

DRAWING TITLE  
COVER SHEET

DRAWING NUMBER

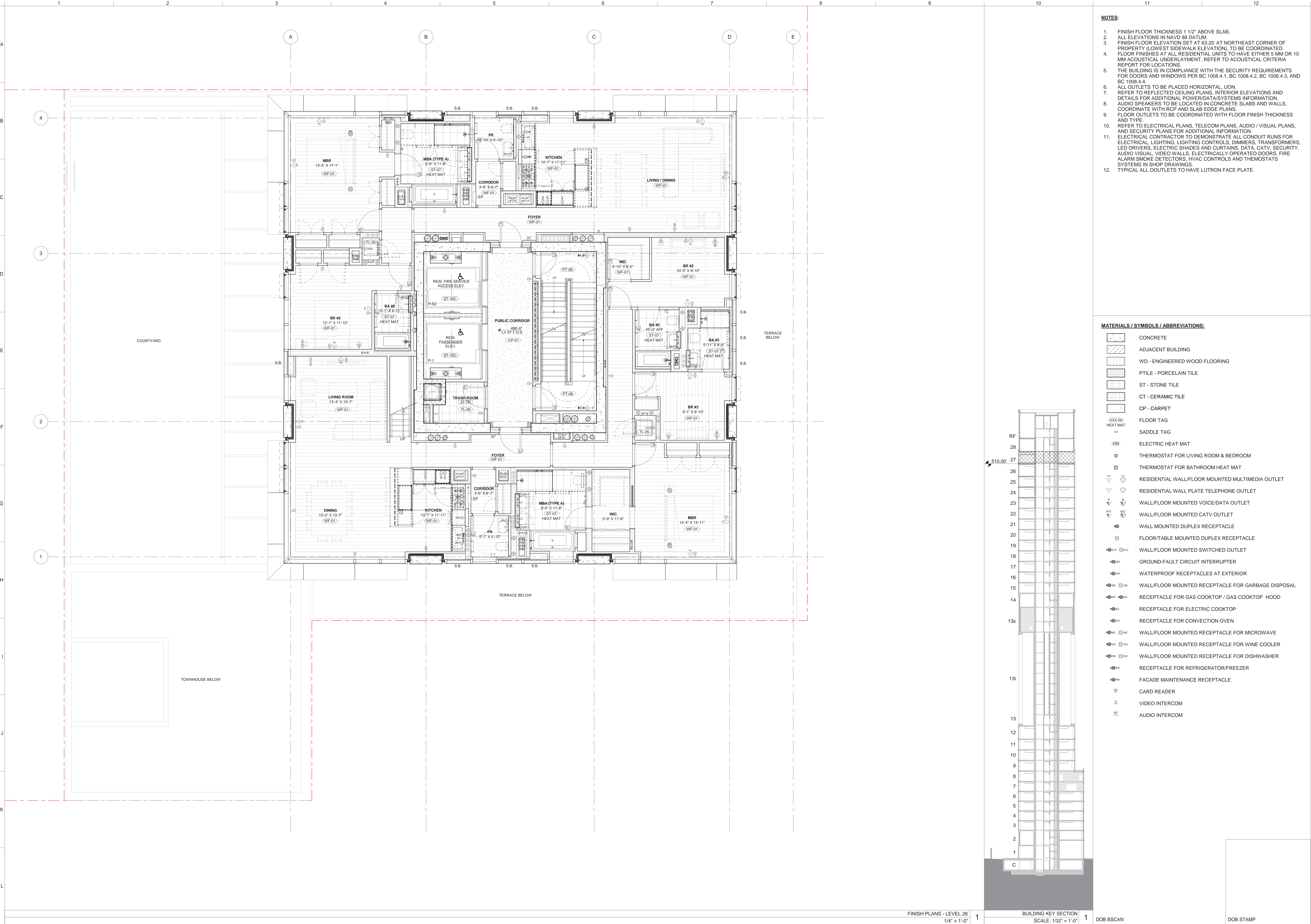
DOB REV.

SHEET 1 OF 511

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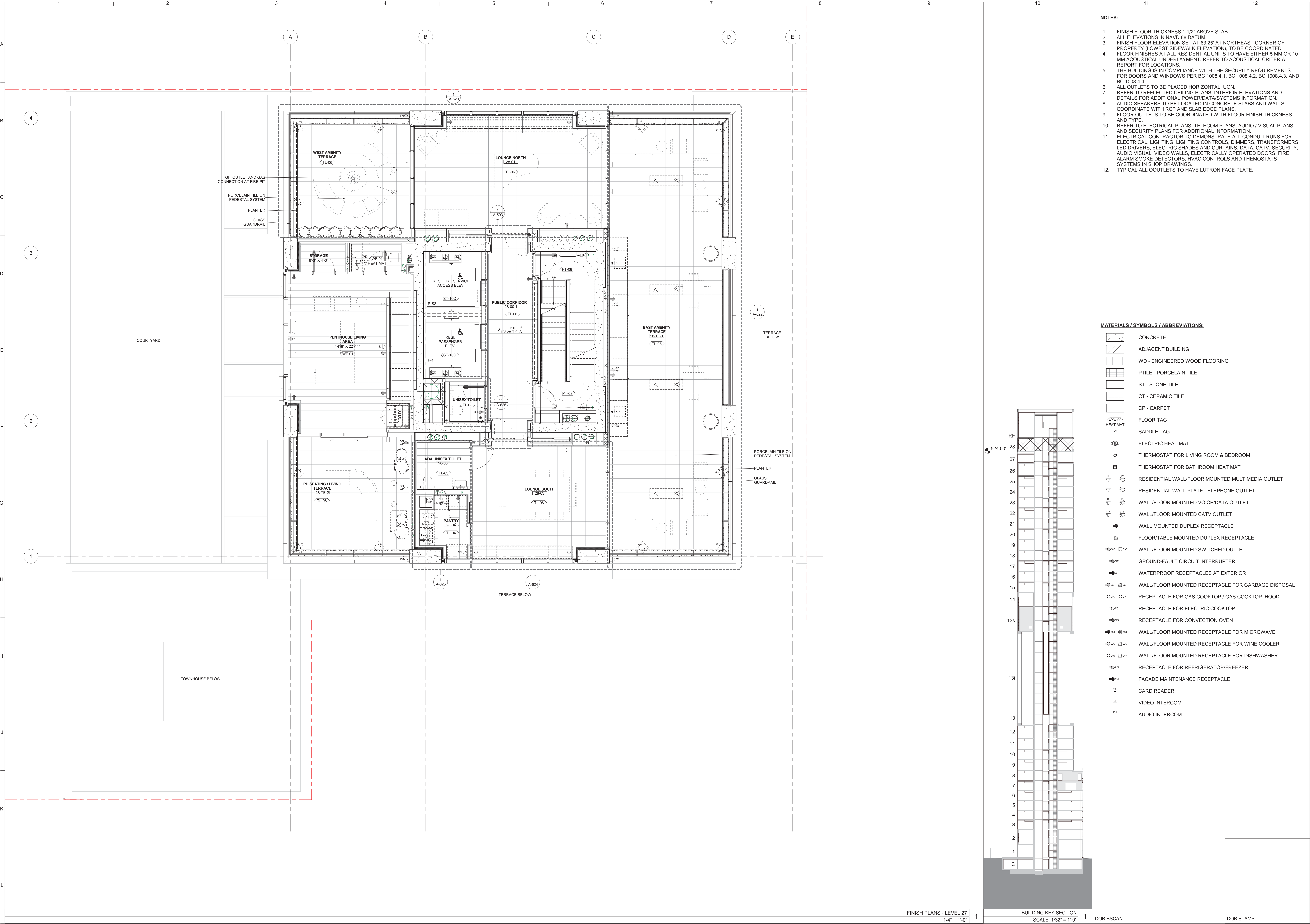
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PROJECT 249 E 62ND STREET NEW YORK, NY 10065		OWNER: REAL ESTATE INVERLAD DEVELOPMENT 101 S EOLA DR # 1205 ORLANDO, FL 32801	MEP / FP / IT / SE ENGINEER: COSENTINI ASSOCIATES 300 KIMBALL DRIVE, 4TH FLOOR PARSIPPANY, NJ 07054	GEOTECHNICAL / CIVIL ENGINEER: LANGAN ENGINEERING 404 FIFTH AVENUE, 8TH FLOOR NEW YORK, NY 10018	ACOUSTICAL CONSULTANT: CERAMI ASSOCIATES 166 AMES STREET HACKENSACK, NY 10121	FACADE MAINTENANCE CONSULTANT: ENTEK ENGINEERING ARCHITECTURE, PLLC 10 CITY POINT, 23T, BROOKLYN, NY 11201	LANDSCAPE ARCHITECT: STEVEN YAVANIAN LANDSCAPE ARCHITECTURE, PLLC 10 CITY POINT, 23T, BROOKLYN, NY 11201	KEY PLAN PROJ.N 62ND STREET 2ND AVE	SEAL AND SIGNATURE	ISSUE NAME DOB SUBMITTAL REV. DATE DESCRIPTION 11/01/2017 DOB SUBMITTAL 09/28/2017 CONSTRUCTION DOCUMENTS	DRAWING SIZE: 36" x 48" SCALE 1/4" = 1'-0" ISSUE DATE 11/01/2017	DRAWING TITLE FINISH, FURNITURE & EQUIPMENT PLANS - LEVEL 26 - RESIDENTIAL DRAWING NUMBER A-155 .	DOB REV. SHEET 74 OF 511
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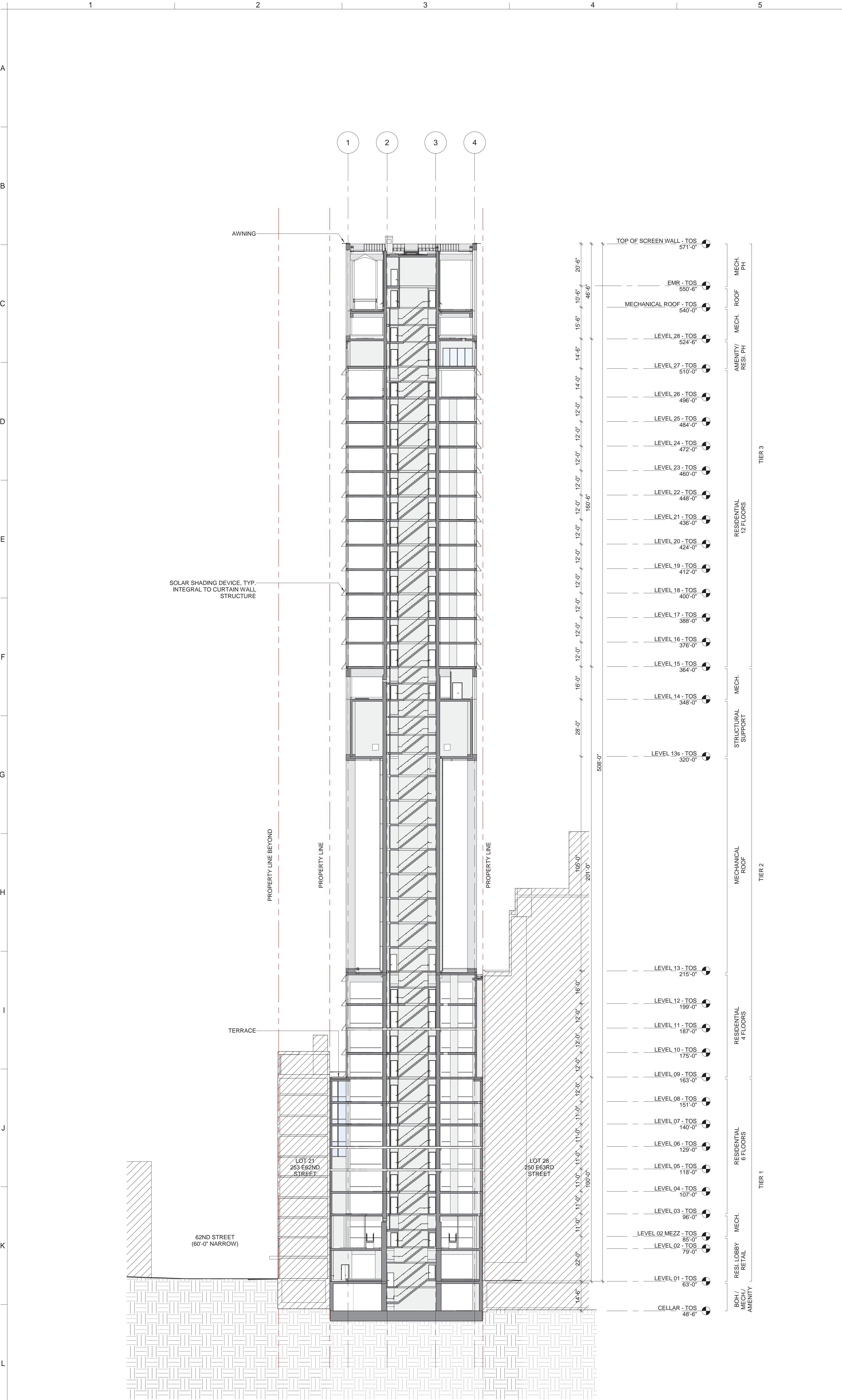
- NOTES:**
1. FINISH FLOOR THICKNESS 1 1/2" ABOVE SLAB.
  2. ALL ELEVATIONS IN NAVD 88 DATUM.
  3. FINISH FLOOR ELEVATION SET AT 63.25' AT NORTHEAST CORNER OF PROPERTY (LOWEST SIDEWALK ELEVATION). TO BE COORDINATED FLOOR FINISHES AT ALL RESIDENTIAL UNITS TO HAVE EITHER 5 MM OR 10 MM ACOUSTICAL UNDERLAYMENT. REFER TO ACOUSTICAL CRITERIA REPORT FOR LOCATIONS.
  4. THE BUILDING IS IN COMPLIANCE WITH THE SECURITY REQUIREMENTS FOR DOORS AND WINDOWS PER BC 1008.4.1, BC 1008.4.2, BC 1008.4.3, AND BC 1008.4.4.
  5. ALL OUTLETS TO BE PLACED HORIZONTAL, UNO.
  6. REFER TO REFLECTED CEILING PLANS, INTERIOR ELEVATIONS AND DETAILS FOR ADDITIONAL POWER/DATA/SYSTEMS INFORMATION.
  7. AUDIO SPEAKERS TO BE LOCATED IN CONCRETE SLABS AND WALLS. COORDINATE WITH RCP AND SLAB EDGE PLANS.
  8. FLOOR OUTLETS TO BE COORDINATED WITH FLOOR FINISH THICKNESS AND TYPE.
  9. REFER TO ELECTRICAL PLANS, TELECOM PLANS, AUDIO / VISUAL PLANS, AND SECURITY PLANS FOR ADDITIONAL INFORMATION.
  10. ELECTRICAL CONTRACTOR TO DEMONSTRATE ALL CONDUIT RUNS FOR ELECTRICAL, LIGHTING, LIGHTING CONTROLS, DIMMERS, TRANSFORMERS, LED DRIVERS, ELECTRIC SHADES AND CURTAINS, DATA, CATV, SECURITY, AUDIO VISUAL, VIDEO WALLS, ELECTRICALLY OPERATED DOORS, FIRE ALARM SMOKE DETECTORS, HVAC CONTROLS AND THERMOSTATS SYSTEMS IN SHOP DRAWINGS.
  11. TYPICAL ALL OUTLETS TO HAVE LUTRON FACE PLATE.
  - 12.

**MATERIALS / SYMBOLS / ABBREVIATIONS:**

- |  |  |
|--|--|
|  | CONCRETE   |
|  | ADJACENT BUILDING                                  |
|  | WD - ENGINEERED WOOD FLOORING                      |
|  | PTILE - PORCELAIN TILE                             |
|  | ST - STONE TILE                                    |
|  | CT - CERAMIC TILE                                  |
|  | CP - CARPET  |
|  | FLOOR TAG  |
|  | SADDLE TAG   |
|  | ELECTRIC HEAT MAT                                  |
|  | THERMOSTAT FOR LIVING ROOM & BEDROOM               |
|  | THERMOSTAT FOR BATHROOM HEAT MAT                   |
|  | RESIDENTIAL WALL/FLOOR MOUNTED MULTIMEDIA OUTLET   |
|  | RESIDENTIAL WALL PLATE TELEPHONE OUTLET            |
|  | WALL/FLOOR MOUNTED VOICE/DATA OUTLET               |
|  | WALL/FLOOR MOUNTED CATV OUTLET                     |
|  | WALL MOUNTED DUPLEX RECEPTACLE                     |
|  | FLOOR/TABLE MOUNTED DUPLEX RECEPTACLE              |
|  | WALL/FLOOR MOUNTED SWITCHED OUTLET                 |
|  | GROUND-FAULT CIRCUIT INTERRUPTER                   |
|  | WATERPROOF RECEPTACLES AT EXTERIOR                 |
|  | WALL/FLOOR MOUNTED RECEPTACLE FOR GARBAGE DISPOSAL |
|  | RECEPTACLE FOR GAS COOKTOP / GAS COOKTOP HOOD      |
|  | RECEPTACLE FOR ELECTRIC COOKTOP                    |
|  | RECEPTACLE FOR CONVECTION OVEN                     |
|  | WALL/FLOOR MOUNTED RECEPTACLE FOR MICROWAVE        |
|  | WALL/FLOOR MOUNTED RECEPTACLE FOR WINE COOLER      |
|  | WALL/FLOOR MOUNTED RECEPTACLE FOR DISHWASHER       |
|  | RECEPTACLE FOR REFRIGERATOR/FREEZER                |
|  | FACADE MAINTENANCE RECEPTACLE                      |
|  | CARD READER  |
|  | VIDEO INTERCOM                                     |
|  | AUDIO INTERCOM                                     |

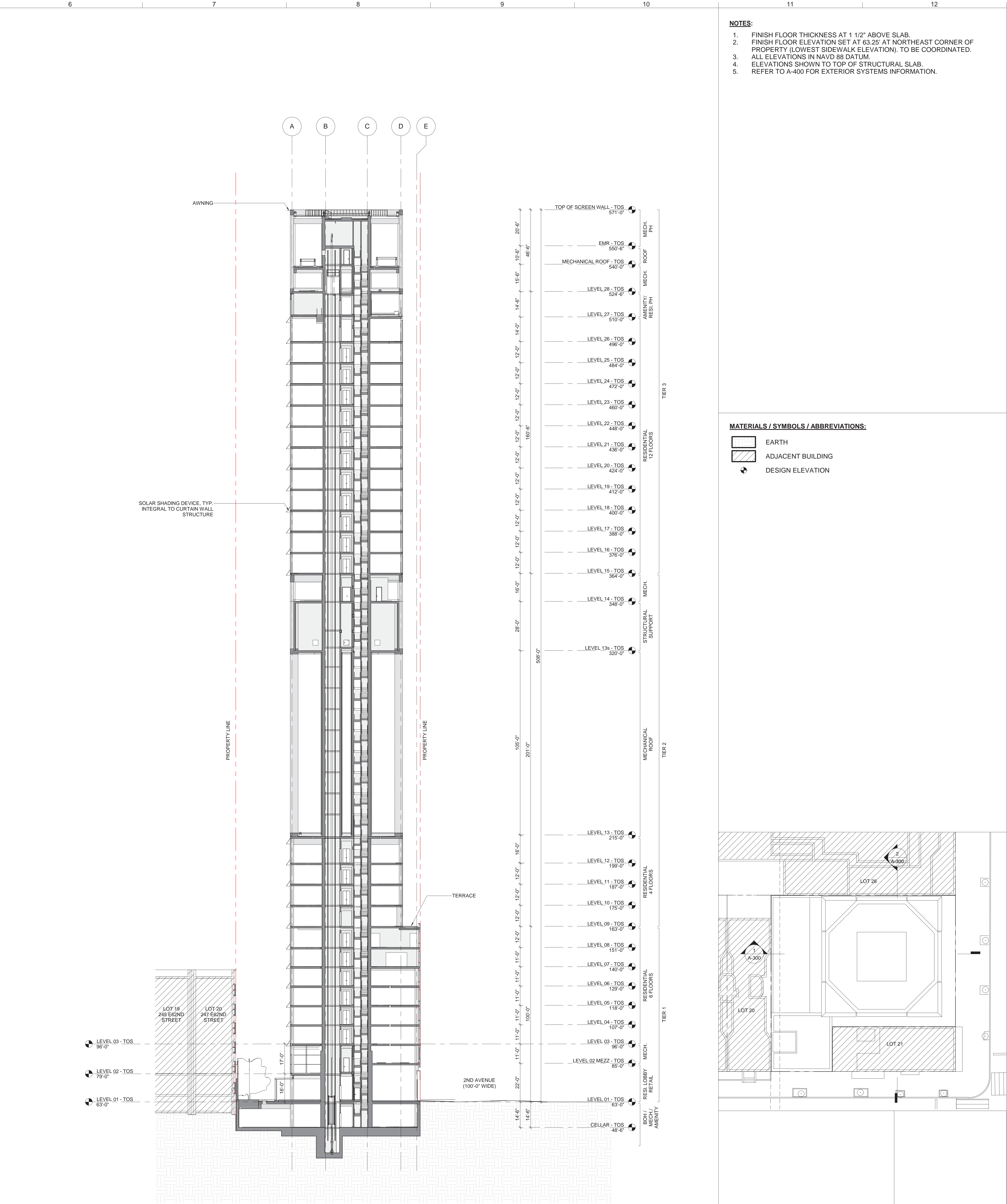
PROJECT 249 E 62ND STREET NEW YORK, NY 10065	OWNER: REAL ESTATE INVERLAD DEVELOPMENT 101 S EOLA DR # 1205 ORLANDO, FL 32801	MEP / FP / IT / SE ENGINEER: COSENTINI ASSOCIATES 2 PENNSYLVANIA PLAZA NEW YORK, NY 10121	GEOTECHNICAL / CIVIL ENGINEER: LANGAN ENGINEERING 300 KIMBALL DRIVE, 4TH FLOOR PARSIPPANY, NJ 07054	ACOUSTICAL CONSULTANT: CERAMI ASSOCIATES 404 FIFTH AVENUE, 8TH FLOOR NEW YORK, NY 10018	FACADE MAINTENANCE CONSULTANT: ENTEK ENGINEERING 166 AMES STREET HACKENSACK, NY 10121	LANDSCAPE ARCHITECT: STEVEN YAVANIAN LANDSCAPE ARCHITECTURE PLLC 10 CITY POINT, 23T, BROOKLYN, NY 11201	<div>KEY PLAN</div> <div>PROJ.N</div> <div></div>	<div>SEAL AND SIGNATURE</div>	ISSUE NAME DOB SUBMITTAL	DRAWING SIZE: 36" x 48"	DRAWING TITLE <b>FINISH, FURNITURE &amp; EQUIPMENT PLANS - LEVEL 27 - AMENITY</b>
	REV	DATE	DESCRIPTION	SCALE 1/4" = 1'-0"	DRAWING NUMBER <b>A-156</b>	DOB REV.			SHEET 75 OF 511		
		11/01/2017	DOB SUBMITTAL								
		09/28/2017	CONSTRUCTION DOCUMENTS								





OVERALL BUILDING SECTION - NORTH-SOUTH  
3/64" = 1'-0"

2



OVERALL BUILDING SECTION - EAST-WEST  
3/64" = 1'-0"

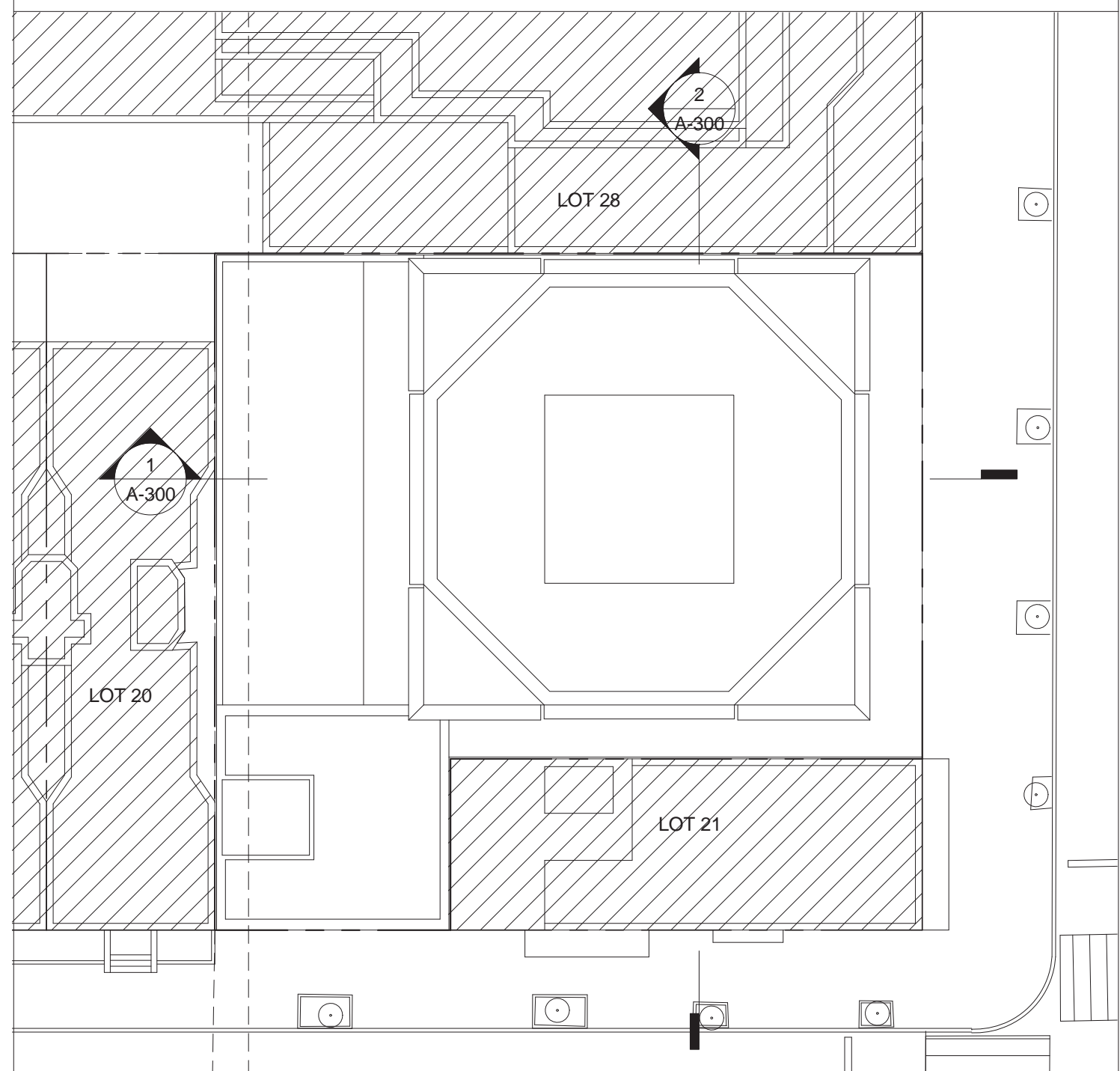
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NOTES:

1. FINISH FLOOR THICKNESS AT 1 1/2" ABOVE SLAB.
2. FINISH FLOOR ELEVATION SET AT 63.25' AT NORTHEAST CORNER OF PROPERTY (LOWEST SIDEWALK ELEVATION). TO BE COORDINATED.
3. ALL ELEVATIONS IN NAVD 88 DATUM.
4. ELEVATIONS SHOWN TO TOP OF STRUCTURAL SLAB.
5. REFER TO A-400 FOR EXTERIOR SYSTEMS INFORMATION.

MATERIALS / SYMBOLS / ABBREVIATIONS:

- EARTH
- ADJACENT BUILDING
- DESIGN ELEVATION



DOB BSCAN

DOB STAMP

PROJECT  
249 E 62ND STREET  
NEW YORK, NY 10065

OWNER:  
REAL ESTATE INVERLAD DEVELOPMENT  
101 S EOLA DR # 1205  
ORLANDO, FL 32801  
  
ARCHITECT / INTERIOR DESIGNER:  
RAFAEL VINOLY ARCHITECTS  
50 VANDAM STREET  
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MEP / FP / IT / SE ENGINEER:  
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744 BROAD STREET  
NEWARK, NJ 07102

GEOTECHNICAL / CIVIL ENGINEER:  
LANGAN ENGINEERING  
300 KIMBALL DRIVE, 4TH FLOOR  
PARSIPPANY, NJ 07054  
  
VERTICAL TRANSPORTATION:  
FORTUNE SHELPER SALING  
37 WOODLAND ROAD  
MAPLEWOOD, NJ 07040

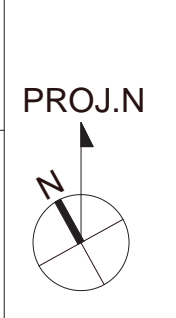
ACOUSTICAL CONSULTANT:  
CERAMI ASSOCIATES  
404 FIFTH AVENUE, 8TH FLOOR  
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LIGHTING DESIGNER:  
ONE LUX STUDIO  
158 WEST 29TH STREET, 10TH FLOOR  
NEW YORK, NY 10001

FACADE MAINTENANCE CONSULTANT:  
ENTEK ENGINEERING  
166 AMES STREET  
HACKENSACK, NY 10121

ENCLOSURE / WATERPROOFING CONSULT:  
ENTUITIVE CORPORATION  
315 WEST 36TH STREET  
NEW YORK, NY 10018

LANDSCAPE ARCHITECT:  
STEVEN YAVANIAN LANDSCAPE  
ARCHITECTURE, PLLC  
10 CITY POINT, 23T, BROOKLYN, NY 11201

KEY PLAN



SEAL AND SIGNATURE

ISSUE NAME

DOB SUBMITTAL

REV	DATE	DESCRIPTION
1	11/01/2017	DOB SUBMITTAL
2	09/28/2017	CONSTRUCTION DOCUMENTS

DRAWING SIZE:

36" x 48"

SCALE

3/64" = 1'-0"

ISSUE DATE

11/01/2017

DRAWING TITLE  
BUILDING SECTIONS

DRAWING NUMBER

A-300

DOB REV.

SHEET 126 OF 511